

























Heritage at Risk | Historic England

Heritage at Risk

Our Heritage at Risk programme protects and manages the historic environment. We work with owners, friends groups, developers and other stakeholders to find solutions for 'at risk' historic places and sites across England.

Find cut what's at risk near you (https://historicengland.org.uk/advice/heritage-at-risk/search-register/) by searching the most comprehensive Heritage at Risk Register to date.



Search the Heritage at Risk Register

Find out what's at risk near you by searching the Heritage at Risk Register.





1/17/2020





Hornsey Town Hall, Broadway N8 -Haringey

Built in 1935 to the design of RH Uren. Modelled on Dudock's seminal town hall at Hilversum and an important influence in subsequent British town hall design. The building is in a poor condition, particularly the Assembly Hall to the rear. The Local Authority has agreed to transfer ownership to Far East Consortium International Ltd. This includes an agreement to guarantee continued public access to, and use of, parts of the building. The town hall will also accommodate a hotel, with new residential development to the rear. Works are due to start on site in late 2019.



C Historic England

Site Details

Designated Site Name: HORNSEY TOWN HALL

Heritage Category: Listed Building grade II*

List Entry Number. 1263688

Local Planning Authority:

Haringey

Civil > Public building







Heritage at Risk

Our Heritage at Risk programme protects and manages the historic environment. We work with owners, friends groups, developers and other stakeholders to find solutions for 'at risk' historic places and sites across England.

Find out what's at risk near you (https://historicengland.org.uk/advice/heritage-at-risk/search-register/) by searching the most comprehensive Heritage at Risk Register to date.



Search the Heritage at Risk Register











Heritage at Risk

Our Heritage at Risk programme protects and manages the historic environment. We work with owners, friends groups, developers and other stakeholders to find solutions for 'at risk' historic places and sites across England.

Find out what's at risk near you (https://historicengland.org.uk/advice/heritage-at-risk/search-register/) by searching the most comprehensive Heritage at Risk Register to date.



Search the Heritage at Risk Register











Heritage at Risk

Our Heritage at Risk programme protects and manages the historic environment. We work with owners, friends groups, developers and other stakeholders to find solutions for 'at risk' historic places and sites across England.

Find out what's at risk near you (https://historicengland.org.uk/advice/heritage-at-risk/search-register/) by searching the most comprehensive Heritage at Risk Register to date.



Search the Heritage at Risk Register











Heritage at Risk

Our Heritage at Risk programme protects and manages the historic environment. We work with owners, friends groups, developers and other stakeholders to find solutions for 'at risk' historic places and sites across England.

Find out what's at risk near you (https://historicengland.org.uk/advice/heritage-at-risk/search-register/) by searching the most comprehensive Heritage at Risk Register to date.



Search the Heritage at Risk Register











Heritage at Risk

Our Heritage at Risk programme protects and manages the historic environment. We work with owners, friends groups, developers and other stakeholders to find solutions for 'at risk' historic places and sites across England.

Find out what's at risk near you (https://historicengland.org.uk/advice/heritage-at-risk/search-register/) by searching the most comprehensive Heritage at Risk Register to date.



Search the Heritage at Risk Register











Heritage at Risk

Our Heritage at Risk programme protects and manages the historic environment. We work with owners, friends groups, developers and other stakeholders to find solutions for 'at risk' historic places and sites across England.

Find out what's at risk near you (https://historicengland.org.uk/advice/heritage-at-risk/search-register/) by searching the most comprehensive Heritage at Risk Register to date.



Search the Heritage at Risk Register





Heritage at Risk

Our Heritage at Risk programme protects and manages the historic environment. We work with owners, friends groups, developers and other stakeholders to find solutions for 'at risk' historic places and sites across England.

Find out what's at risk near you (https://historicengland.org.uk/advice/heritage-at-risk/search-register/) by searching the most comprehensive Heritage at Risk Register to date.



Search the Heritage at Risk Register

Find out what's at risk near you by searching the Heritage at Risk Registes.









Hornsey Town Hall, Broadway M8 -Haringey

Built in 1935 to the design of RH Uren. Modelled on Dudock's seminal town hall at Hilversy and an important influence in subsequent By. In town hall design. The building is in a poor condition, post cularly the Assembly Hall to the rear. The Local Authorn bas agreed to transfer ownership to Far East Consortion International Ltd. This includes an agreement to guarance continued public access to, and use of, parts owner building. The town hall will also accommodate a hotel, with in presidential development to the rear. Works if due to start on site in late 2019.



O Histo England

Site Details

Designated Site Name: HORNSEY TOWN HALL

Heritage Category: Listed Building grade

List Entry Number 1263688

Local Plann Authority

Haringey

Site Ty

Civi Public building



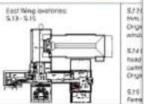


Town Hall: Condition Survey

Second floor

Hoom No. / Room Name Place Difficacion fine East Wass S.87 S.97 Seneral Office and Typish S.70 Fare Copp. S.88 S.98 S.98 S.98 S.98 S.98 S.98 S.98 S.98 S.98







...

Town Hall: Condition Survey

First floor

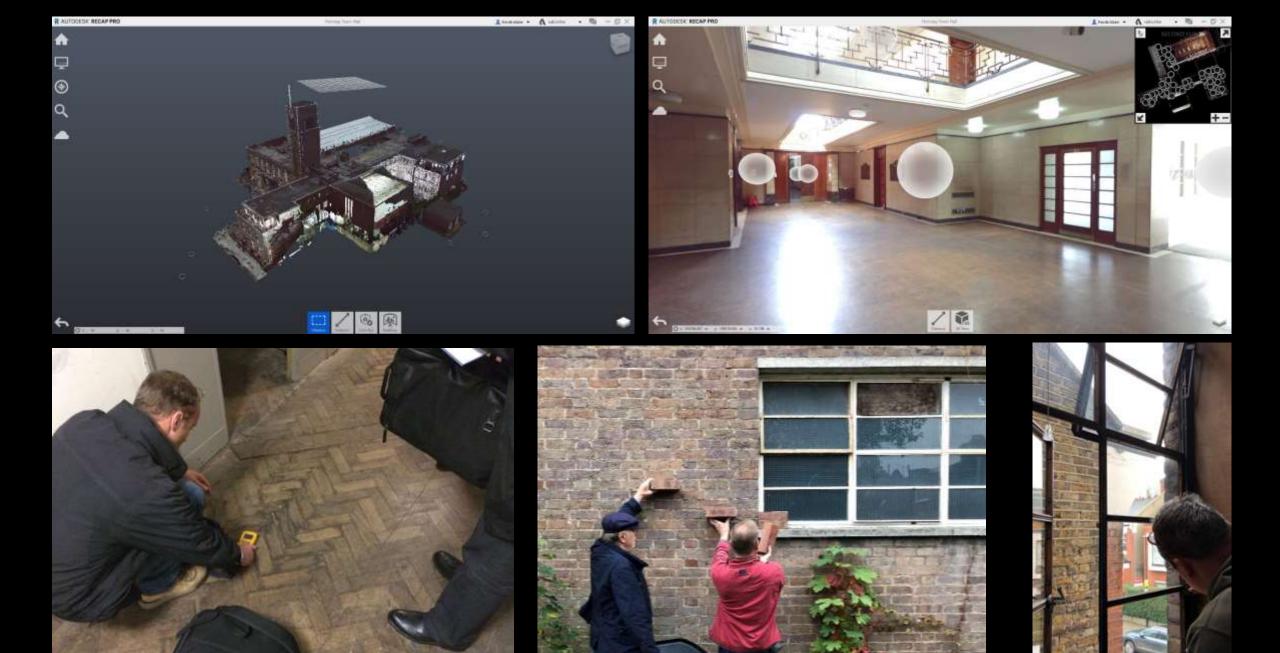
| Hoom No. / Hoom Name | Hoom Doscription (Referenced from C |
|--|--|
| F-ES-and F-16 Consentine Rooms [conf) | Refer to previous pa |
| | |

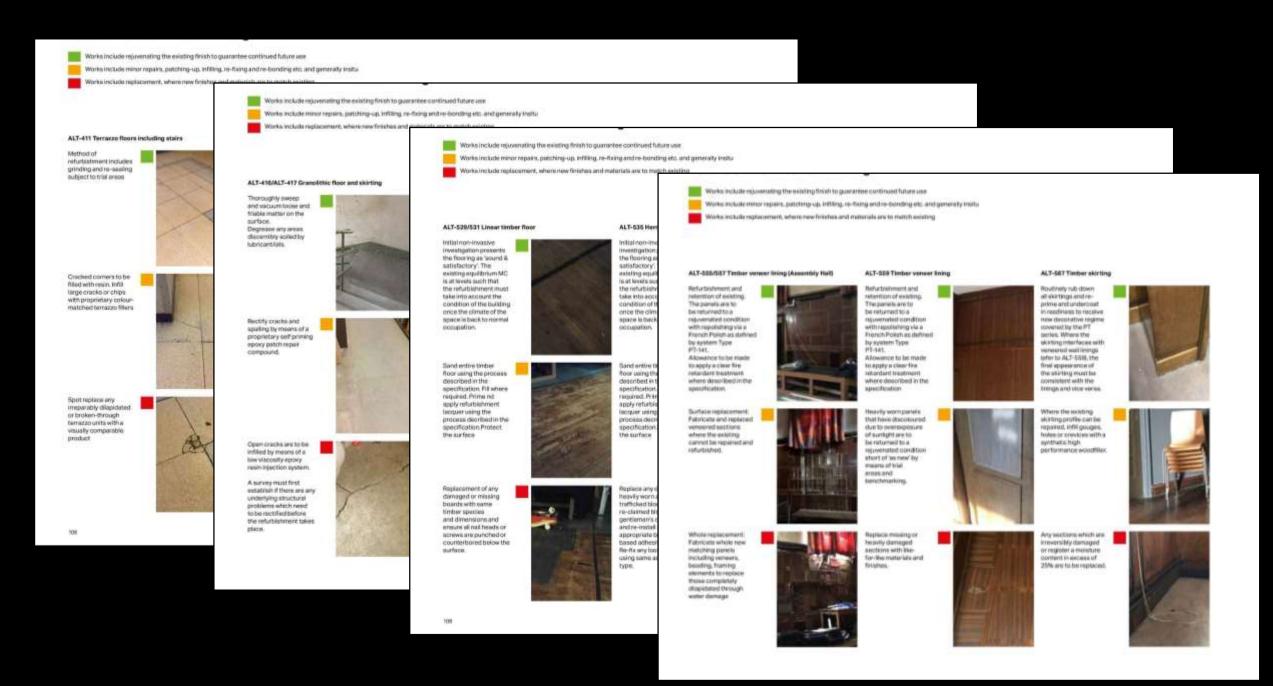


Town Hall: Condition Survey

Ground floor

| Reem No. / Reem Name | Heem Description | Scope of refurbishment | | |
|----------------------------|--|------------------------|---|--|
| | (Referenced from Donald Insult Associates Historic Building Report) | Location | Condition | Proposed action / Remodus task |
| S-17 Assertiny Hall(cont.) | thort) The contexts are not original junginals were him and white shipped). The original period five exit doors in the earth and could wait have their original Walf OUT again. Think is a range of modern gentry lighting and eptembra. | Works | Large areas of the imprair panelling here both parently demapped from rot and demp he introd a reaso pressing is when but temps is unto own acceptant vension are too king entities surface at feeling. Accounts particle colling demp and company is ports, particlearly comers where remeater pipes and guttars have sound temperature to incentive. Accounting personnel to become seating has areal today. | Significant nectoration is required to reletate positiving appointance at por the engines statistic or as chose expressible to the appearance of the serrounding timber which is being relained. |
| | | Doors | Doors in good working condition but dispare heavy wear another. Divertised pursating insuring in areas. | Doors to be refurbished and upgraded as fire soom if extresion; Original Warr Culf signs to be returned, resealated where missing no originated as part of overall signage strategy. |
| | | Wastows | Server damage to some windows and frames where least from not had come two graphs Cartanicare work ourtain tells demaged in above areas. | All working frames, glating, sile and twenty-ad- ticition period to be repeated with new facilities and qualified international content to whole topical systems. Platform and content to whole organi- tious and schile at open. Windows will require upgrading to improve a timatics. |
| | | M | | |
| | | | | |









Hornsey Town Hall

Salvage Strategy

Type 03: Items that will be permanently removed and disposed of, with some elements retained and reused

Tomar dependent deponds

- Organic communities in communities communities communities and producing descriptions of the communities of the co
- regarder file.

 The real of the component passing or the original passing sites.
- per the of the original property content of the entirgues. The forms on the control passes for the control property of the control property of the control property of the same through one property of the control property of the same through one property of the control property of the control
- minutes of the contract of the
- The bare will be carried to reveal that have already to be supported to the carried to the carri
- tragment altisign halfly off income for integration of these contracts from the first party of the second contracts of the second contracts of the second contract of the second contra
- AND ADMINISTRATIVE STATE AND ADMINISTRATIVE AND ADMINISTRATIVE AND ADMINISTRATIVE ADMINISTRATIVE



ten employ

Has any all the control of the control of the second of th

Item no. 02



Roman system

Dameso, 19

for the distribution (Art Springer Sett Service)



Belgaper disgrate image; see separate Polyppin disgrate multication for Action See Secretary







Colorina (Mone) to be provided by



Butterbur Lyber: Financial scores into higher-

Elements School School











Restore

















Furniture, Fittings, Fixtures and Objects Inventory

| Description and Committee | Potent |
|--|---|
| Rig Later E.N. R. by J. R. N. Tue dissolve. Later Later Specific Con- lines. | |
| | 100 |
| May harder on clash 2 arms/ principg 1 frame; Stating or maken; Sorty discreted | |
| Radicals with the same constitute of flows | |
| | |
| The below who about 189 | |
| | 1 |
| of immediate an incumentation of the and incumentation and | |
| | By paint (A by 2 A by fill a by the second of the second |

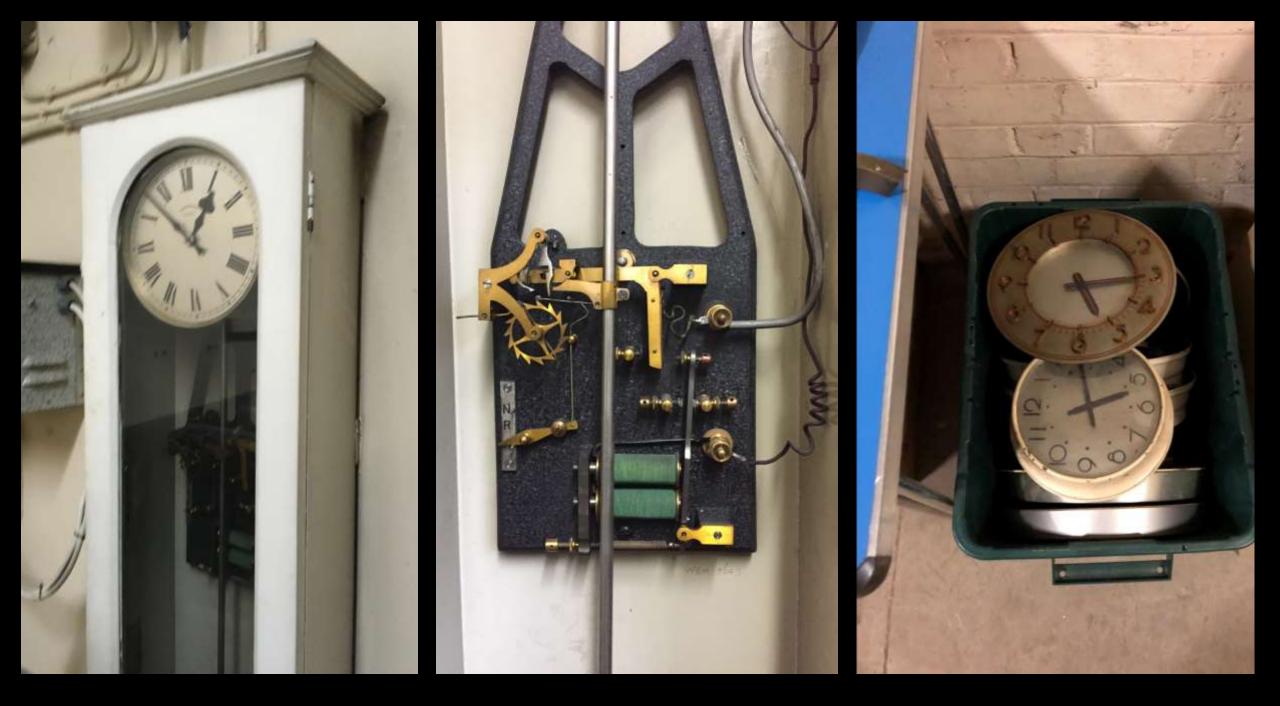
| Transplaces of later. | Description and Condition | Pumpter |
|--|--|--|
| I + Table | Mig same of this by 3 fb, years had constitute | A CONTRACT OF THE PARTY |
| | In his manager decorated dige of | A STREET, STRE |
| 2000.00 | But distribut to High- | THE OWNER OF TAXABLE PARTY. |
| 1000 | 2000 Page 100 | The second second |
| | 1 | A STREET, SQUARE, SQUA |
| | | COMMENT OF THE PERSON NAMED IN |
| | | THE RESERVE THE PERSON NAMED IN |
| AND DESCRIPTION OF THE PARTY OF | | The second second |
| | | Marie and S. A. Company |
| 11500 | Emple and dots, \$ 5.5 to 7 to 7 to 7 to 7 | |
| | Specializate Statem and Special Inchine | |
| Total Control | | |
| 1000 | RIMMON FORCES | Street Squares of Squares |
| | | The second secon |
| | | |
| | | AND DESCRIPTION OF THE PARTY OF |
| ment of he | | and the same of |
| ******* | | |
| LeSton | Souther percent in 8 ft by 2 N ft bas. | |
| | through on two, execution, discommend, | STREET, SQUARE, SQUARE |
| 200 00 | Jefs bank connect damager | Control of the local division in which the local division in which the local division in |
| | 2002/10/02/2005 | Section 1 |
| | | Section of the last of the las |
| | | SALES OF THE OWNER, WHEN PERSON NAMED IN |
| | | 11/19/5/20 |
| ment of the comment | | The state of the s |
| ******* | | |
| 1.4 Top latte | Marking take I dreed 6 Kily (S. N. | Marie Committee of Street |
| | parties asset positions | THE RESERVE AND ADDRESS OF THE PARTY OF THE |
| 100 10 | 300-000-00000 | - |
| | | The second second |
| | | The same of the sa |
| | | The same of the sa |
| | | |
| AND DESCRIPTION OF THE PERSON NAMED IN COLUMN TWO IS NOT THE PERSON NAMED IN COLUMN TWO IS | | |
| | | |
| £4 free battle | Green too raths 1 draws, 3 ft Sq. 2 ft. | |
| | scatchas v tealer across | |
| med any | 200700000000 | The second second |
| 111 | | 100 |
| | | Section 1 |
| | | The state of the s |
| | | The state of the s |
| MENTER PER | | () () () () () () () () () () |
| 10000000 | 10 | 11,100 |

















Repurpose































Repurpose



















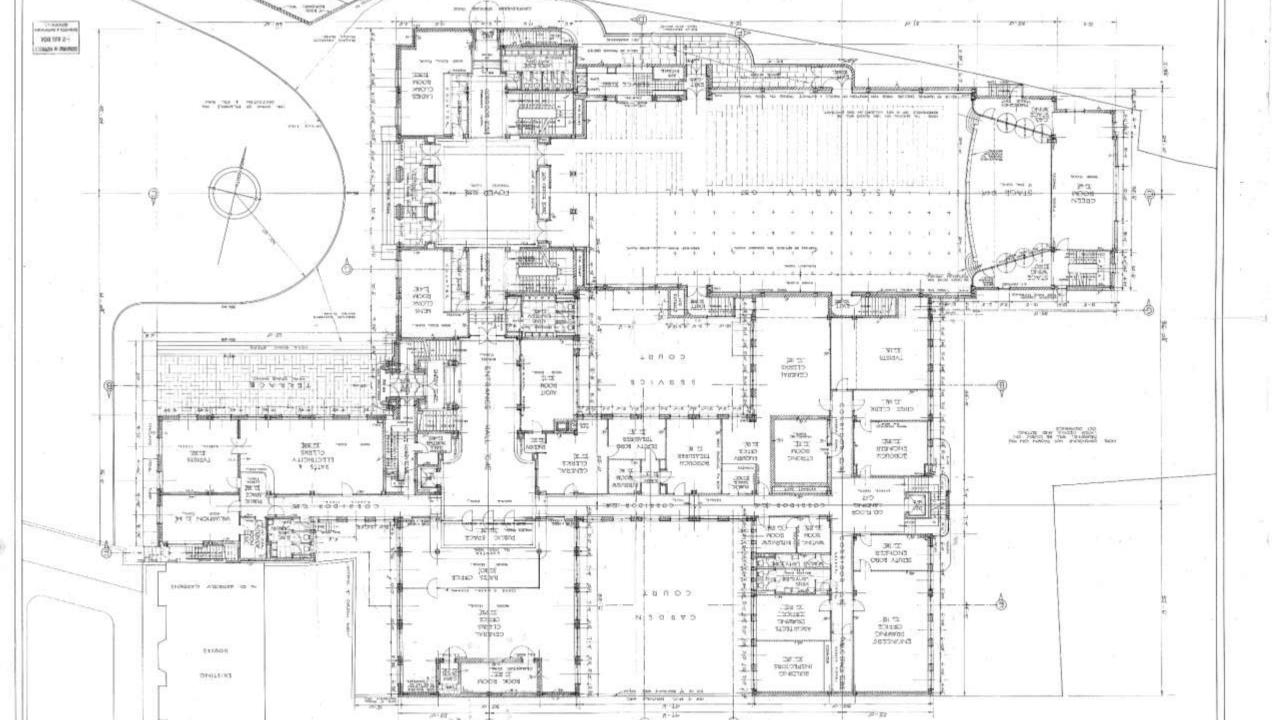


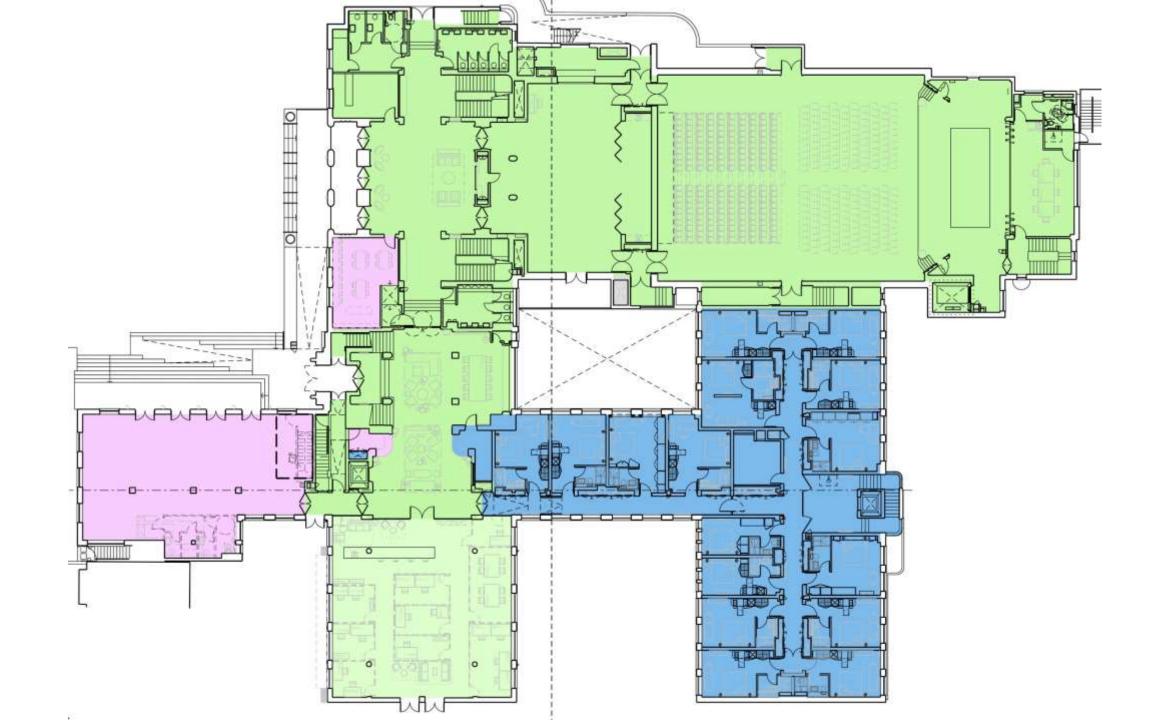


The TIME + SPACE Co.











Town Hall - Existing imagery









Herringbone timber floor

Horizontal datum

Metal detailing

Pendant lighting

Hotel Interiors - Concept imagery







Herringbone timber floor

Warm tone Small format timber Herringbone pattern

Horizontal datum

Warm tone High timber skirting Same tone as flooring

Metal detailing

Champagne/Brass details Hotel room kitchenette Detail on furniture

Pendant lighting

Globe lights Sense of balance











Observatore are in militrarine union stated observing. Levels are in motion ADD unless stated of convince. Dimensions govern. Do not some off dreating. All dimensions to be verified on alle before proceeding. All discrepancies to be notified in writing to Make United.

03 Existing timber wall lining

ALT-881



06 Existing timber wall lining

| 30 | 27/11/16 | Stage 4 For Tunder | RK |
|-----------|-----------|--------------------|-------|
| Harv | Clotu | Resear For Issue | Chit |
| | - 3 | STAGE 4 | 11505 |
| | . 0 | RAWING STATUS | |
| r | na | ke | |
| 12 Lar | don, Will | AJY | |
| * | +44 (0) | 20 7686 0161 | |
| 100 | - | ribliants more | |

Cleat Creach End (PEC) United Ground Floor, 12 Stanfrope Gate London WIK 1AW



Dowing Title Town Hall

Photographs of existing panelled room G.8

| 1: NTS | @A1 | 02.11.18 |
|--------|-------|----------|
| 1360 | A3770 | 00 |

04 Existing timber wall lining

05 Existing timber wall lining

